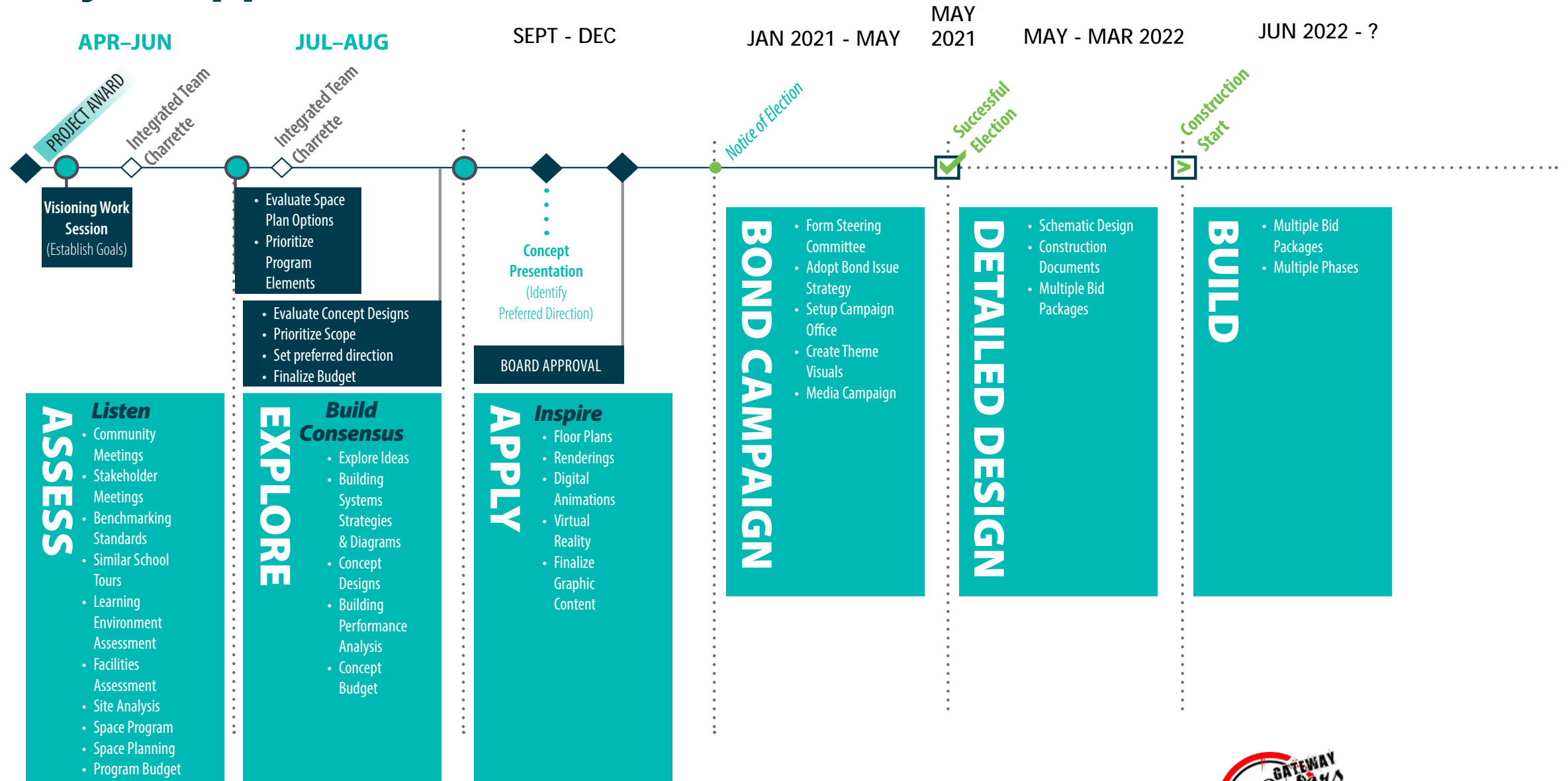


# Project Approach Timeline (REVISED FOR MAY BOND)



Gallatin Gateway Schools PreBond Planning



# Design that Supports Your Strategic Plan:

- Safety & Security
- Student Centered
- Community Engagement
- Culture of Collaboration
- Efficiency & Sustainability
- STEAM Learning Spaces
- Technology Enriched
- Adaptability & Flexibility



# Guiding Principles:

- Safe, Secure, Warm, and Inviting
- Affordable to the Community
- Long Term Plan & Solution
- Addresses Future Tech & Pedagogies
- Flexible & Adaptable Facilities
- Efficient, Operational & Maintainable
- Student Centered Quality Education
- Adequate Infrastructure & Transportation
- Provides Strong Community Connections
- Unity & Parity for all Students & Families
- Celebrates Heritage & Region
- Connections to the World Beyond

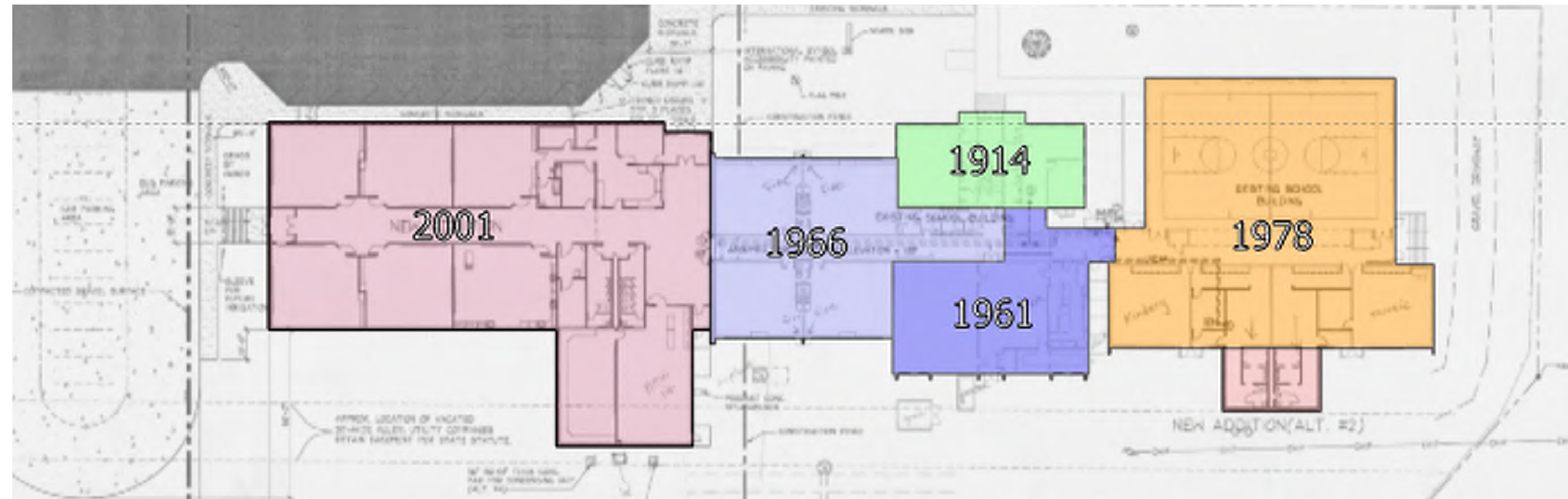
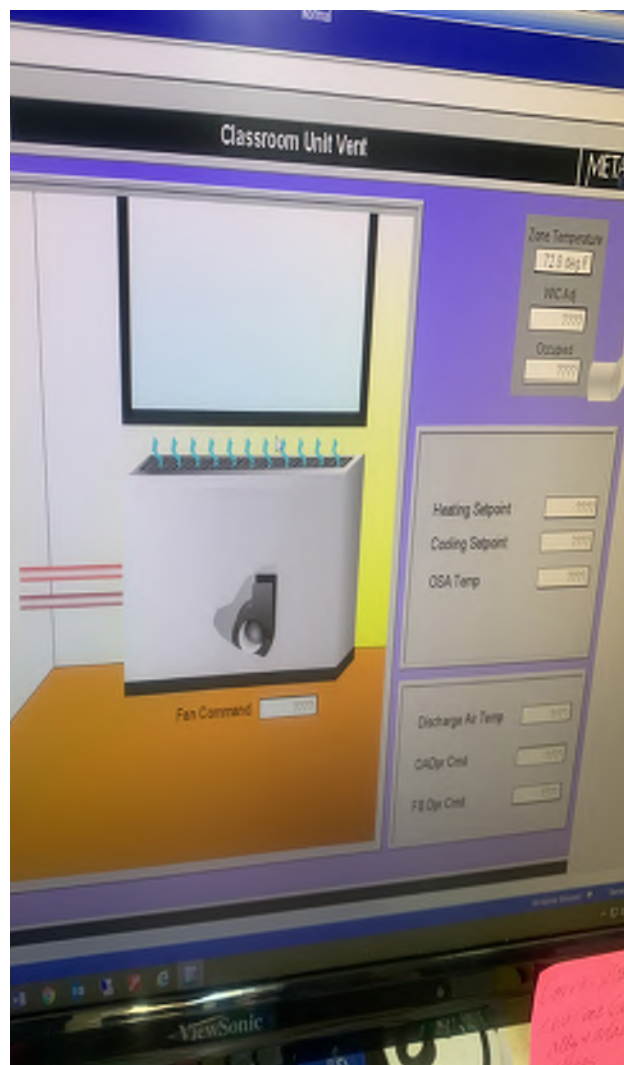


# Facility Deficiencies / Deferred Maintenance:

Gallatin Gateway Schools PreBond Planning  
Apply Phase | Building Committee/Community Session



**Summary of deficiencies/deferred maintenance highlights:**  
The facility deficiencies include items from every building system aspect. Architecturally the building envelope needs addressed in areas where materials have met or exceeded the lifespan of the product. For example, recommend replacement of the roof membrane. In addition, addressing safety and security elements at the main entry lobby and circulation/exiting for after hour use of the building to limit access into the school. The addition of a fire suppression system would allow for more flexibility with in the school layout for life safety.  
Structurally there are voluntary upgrades outlined to address lateral loads and seismic design. These upgrades could be required in specific areas depending on extents of renovation (i.e. 1914 building, & portions where each building era meets).  
Mechanical & plumbing deficiencies related to thermal comfort apply to most spaces in the school as well as the need for proper ventilation, & a system for monitoring controls is highly recommended.  
Electrical items to address are related to emergency lighting, the main building service limitations, fire alarm & security system consolidation/upgrades, & replacement of non-serviceable electrical panels.  
See full Assessment Report for more details.



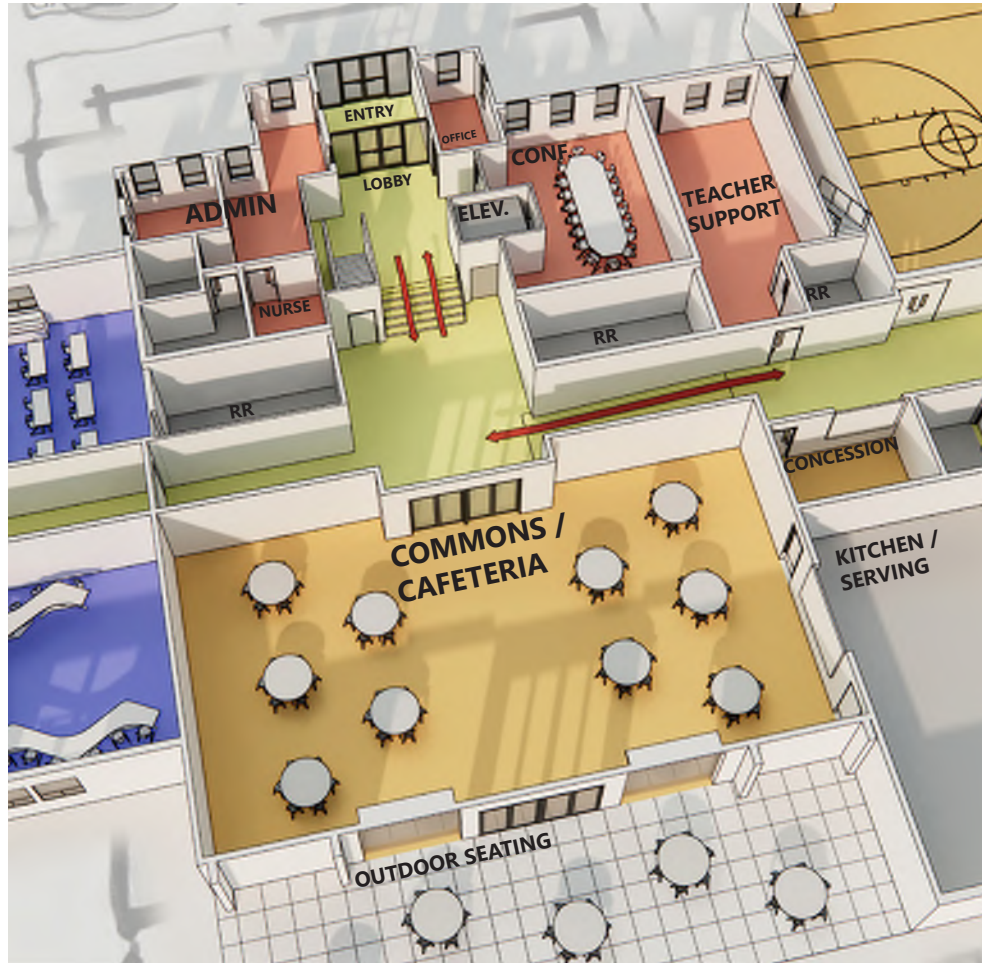


# 1914 Restoration Concept Plan:

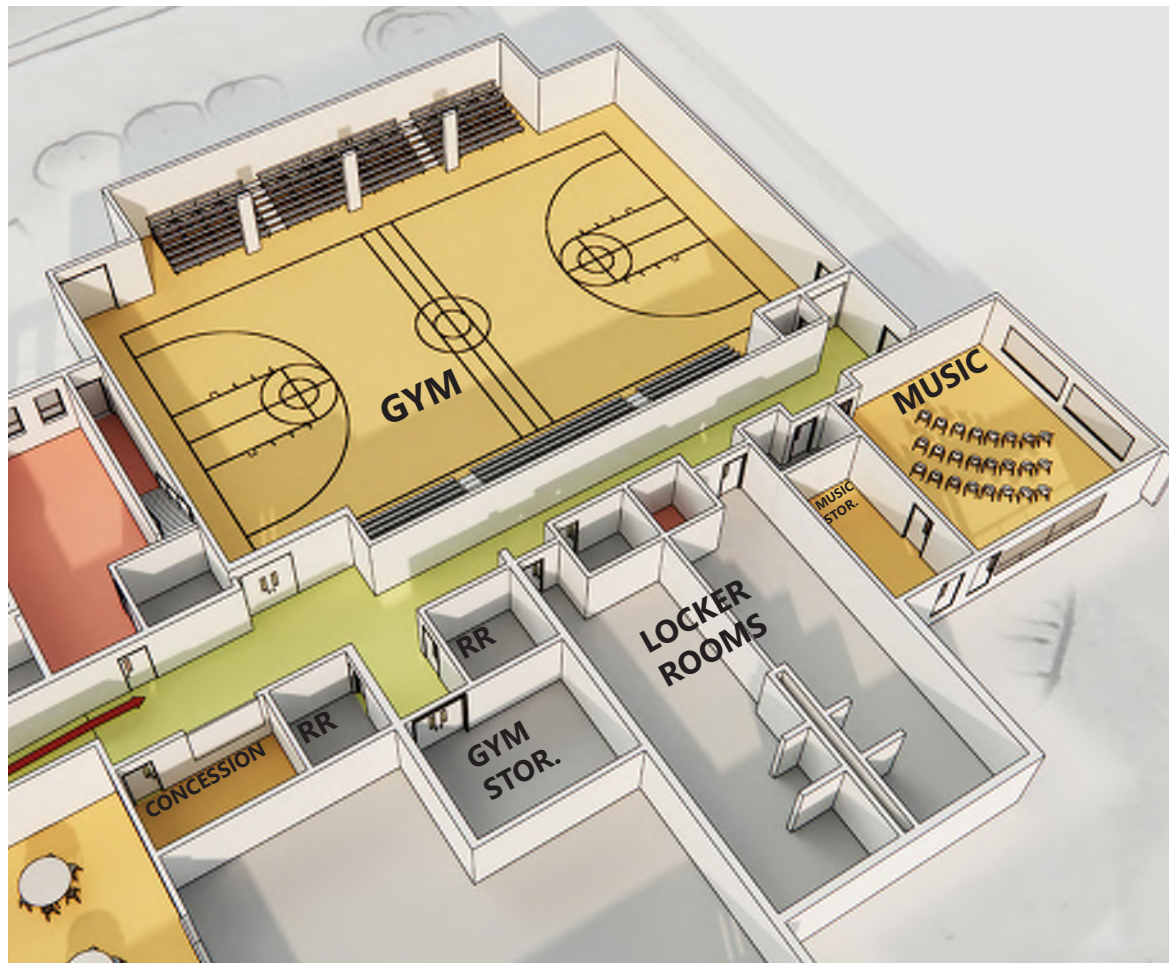


**1914 Restoration Concept Highlights:**

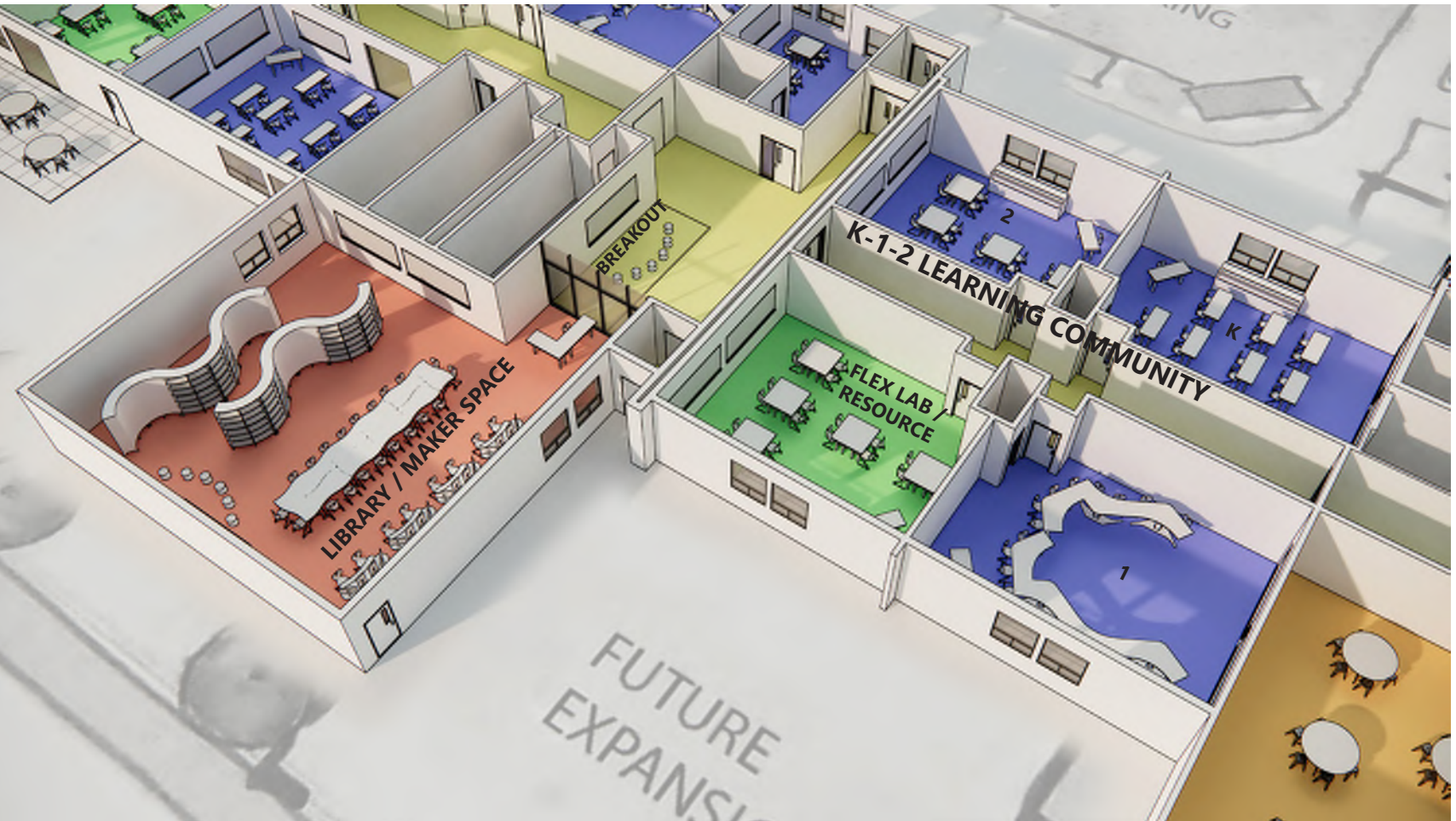
Reclaiming the 1914 original school entry provides a new secure entry with adjacent administration offices, and fully accessible spaces via elevator on the main level & upper level. A small addition provides for upgraded egress for the second floor along with an additional administration & teaching space. The fully accessible entry allows for increased visibility and expanded pick-up/drop-off zones related to safety and security for pedestrian and vehicular traffic flow. This concept separates school hour use from after hour use by relocating the main entry to separate these functions. Smaller additions and renovations will allow for both more Gym and Cafeteria seating, while providing a new commercial kitchen. The Library will be upgraded with integral maker spaces. Classrooms will be re-organized and grouped around grade appropriate enhanced twenty first century STEM Labs. This concept also includes updating the baseline facility deficiencies and is master planned for future additions and growth.



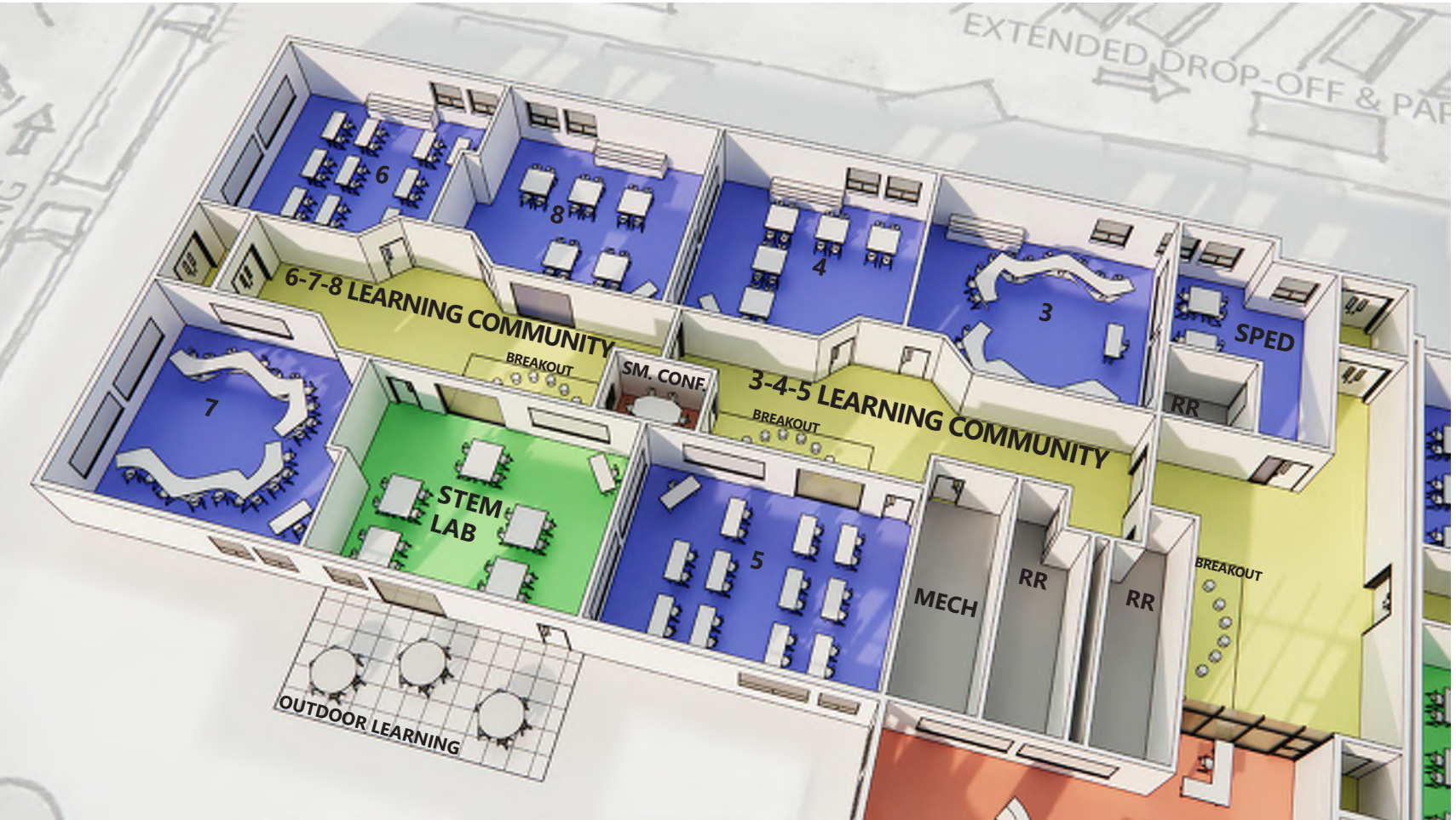
COMMUNITY ZONE: MAIN ENTRY / ADMIN / COMMONS



ACTIVITIES CENTER: GYM / MUSIC / LOCKERS / SUPPORT

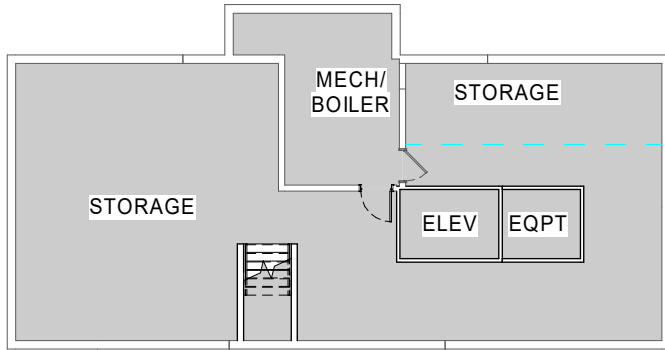


SMALL LEARNING COMMUNITY: K-1-2 CLASSROOMS / BREAKOUT SPACE / LIBRARY

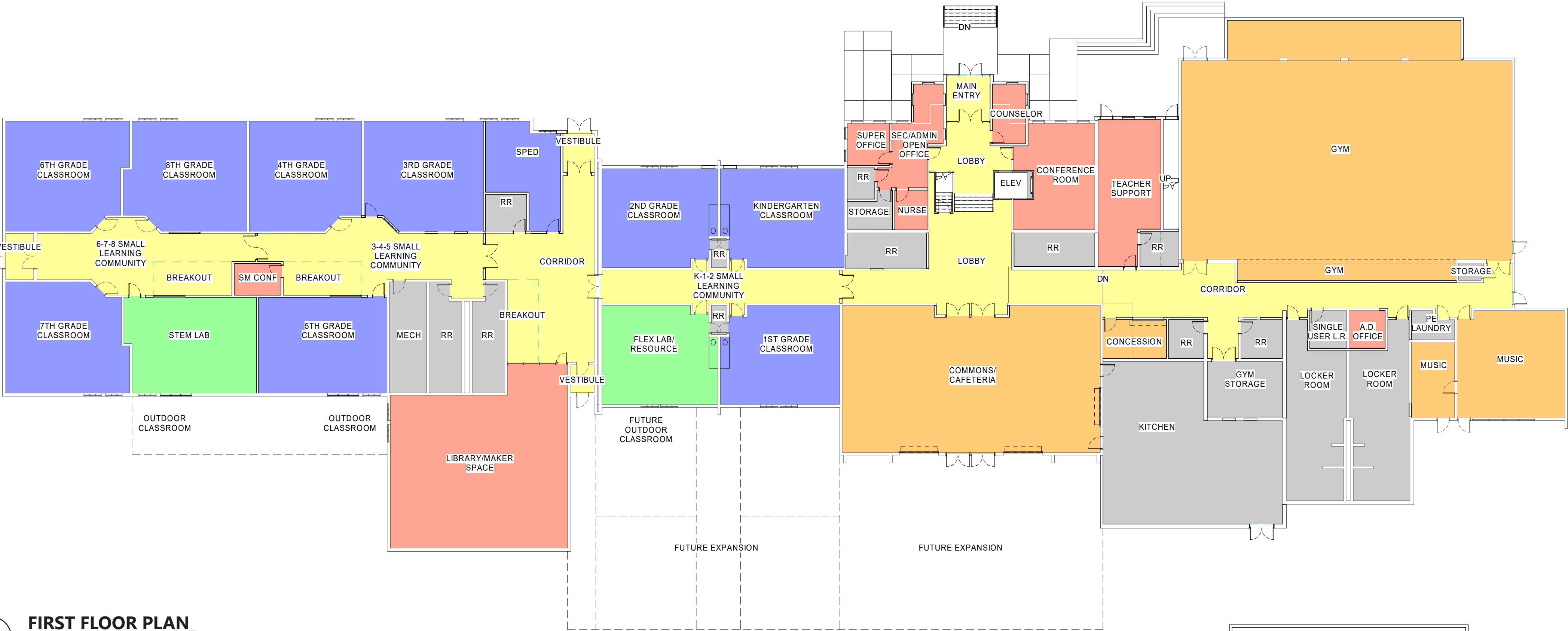


SMALL LEARNING COMMUNITIES : 3-4-5 & 6-7-8 CLASSROOM / STEM / OUTDOOR LEARNING

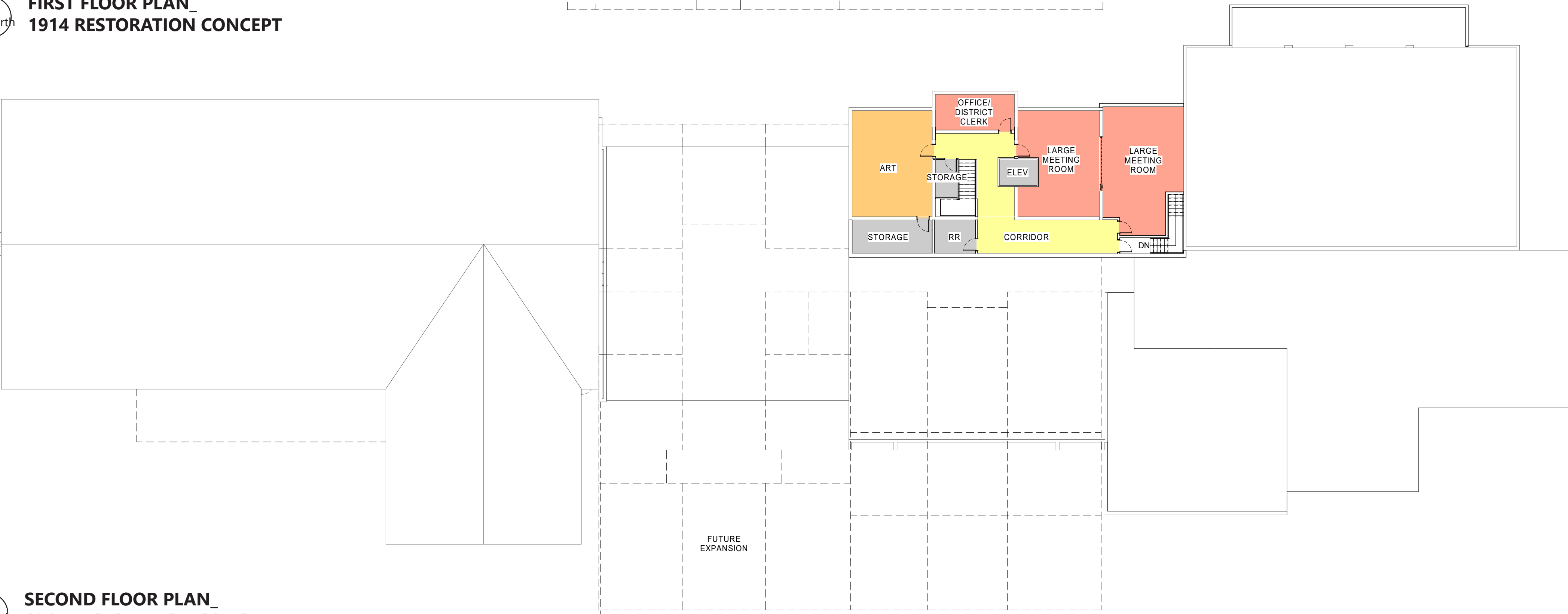
- ROOM LEGEND
- CLASSROOM
  - ADMIN/OFFICE/SUPPORT
  - BREAKOUT AREA
  - MECH/RR/SERVICES
  - COMMONS/CAFETERIA/GYM/ART/MUSIC
  - CORRIDOR
  - STEM LAB



BASEMENT FLOOR PLAN (AT 1914 PORTION ONLY)  
1914 RESTORATION CONCEPT



FIRST FLOOR PLAN  
1914 RESTORATION CONCEPT



SECOND FLOOR PLAN  
1914 RESTORATION CONCEPT



# 1914 Restoration Concept Site Plan:



MAIN ENTRY PERSPECTIVE / SITE CIRCULATION

CONCEPT PROPOSED PROGRAM SPACES + FUTURE MASTERPLAN PROGRAM

	EXISTING	PROPOSED	FUTURE
CLASSROOMS	10	10	22
LABS (STEM/ MAKER SPACE)	2	3	6
LIBRARY	1	1	1
ART	1	1	1
MUSIC	1	1	1
CAFETERIA / MULTI-PURPOSE	75 seats	125 seats	250 seats
GYM	150 seats	350 seats	350 seats
ADMIN. SUITE	1	1	1
CONF. / MEETING	1	2	2
TEACHER SUPPORT	1	1	2



1914 RESTORATION CONCEPT PROJECT COSTS

Remodel all Areas and Addition

Project Costs	
Major Facility MEP Deficiencies	\$ 1,494,042
Heavy Remodel + Structural	\$ 1,291,290
Remodel Finishes	\$ 713,636
Light Remodel	\$ 213,406
New Construction	\$ 1,171,247
Site Work	\$ 357,966
Construction Hard Costs Subtotal	\$ 5,241,587
Soft Costs	\$ 1,443,964
Contingency	\$ 355,244
Total Project Cost	\$ 7,040,795

Project Funding Sources	
Bond Funding	\$ 7,000,000
General Reserves	\$ 49,945
Total Funding	\$ 7,049,945

Site Plan Concept Highlights:

This proposed site plan concept creates dedicated parent drop-off and pickup zones, and expands the parking to the east towards the new proposed secured and monitored entry. The new entry will align with an upgraded crosswalk at Mill Street that connects to the adjacent Community Center shared event parking and pedestrian trail system. This concept takes into account the schools master plan for future growth, allowing more than doubling the student capacity. This concept includes a fully accessible second story, with an expanded two-story future addition to minimize the buildings footprint, while preserving the surrounding playfields and site. This site plan concept would be able to utilize all of the site enhancements and future master plan allowances shown.

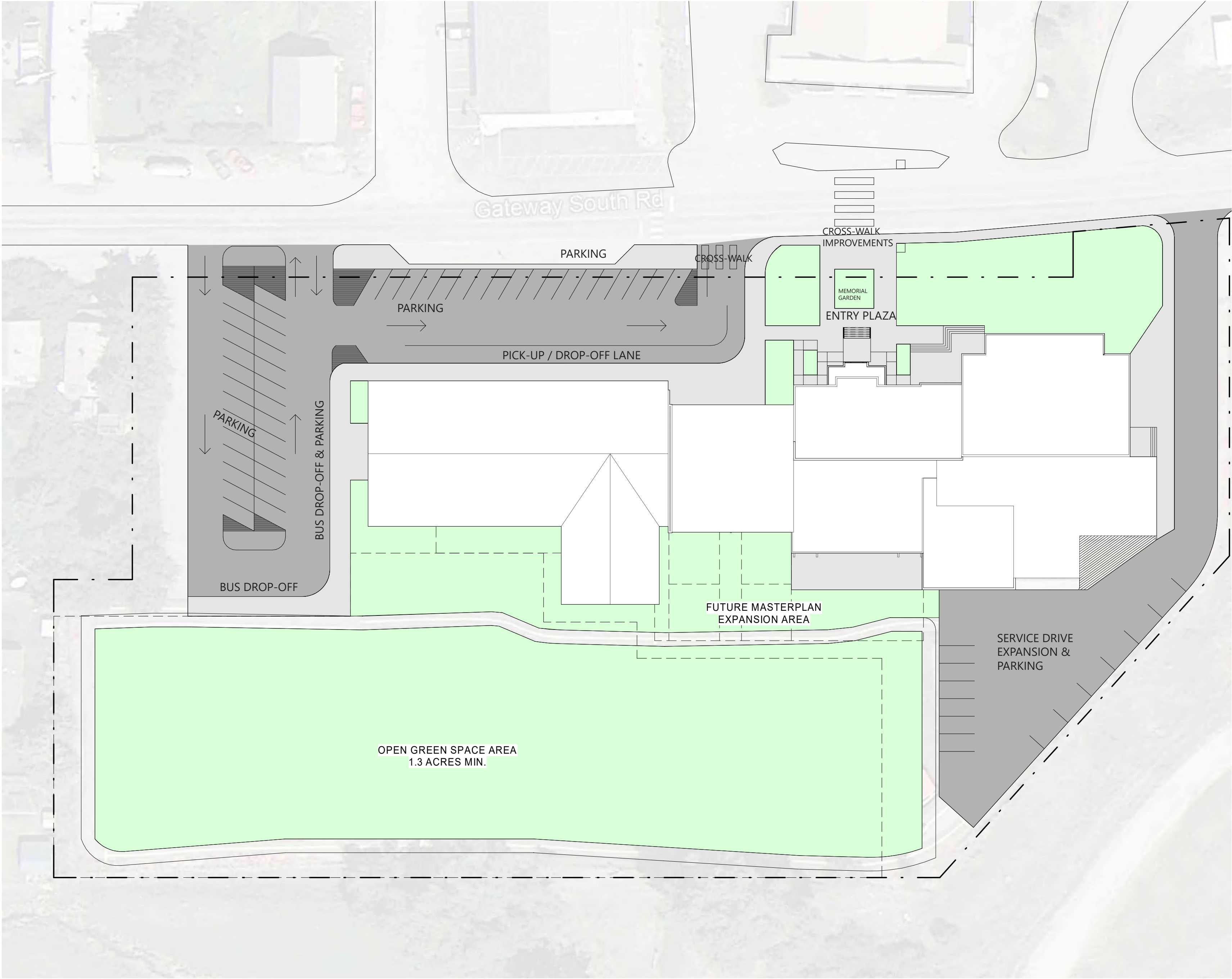
Site Circulation (Existing & Proposed)

Parking Spaces  
Existing: 37 spaces  
Proposed: 49 spaces

Drop-off  
Existing: 0 dedicated/drive lane  
Proposed: 14 spaces

Bus  
Existing: 3 spaces  
Proposed: 5 spaces

Staff/Service  
Existing: 7 spaces  
Proposed: 12 spaces (back lot)



PRELIMINARY SITE PLAN  
1914 RESTORATION CONCEPT